



Durango

1140 Main Avenue, Suite B
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Pagosa Springs

262 Pagosa St. Suite 200
Pagosa Springs, CO 81147
P – 970.264.6884
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Project Name Riverwalk Townhomes

Subject Major Design Review Sketch Application

Date February 18, 2021

Project Description

The proposed project is a multi-family occupancy located at 180 South 6th Street. The construction of the three townhome buildings will be 2 stories each and approximately 1724 square feet of living space per unit.

Exhibits

- Completed Land Use Application (a)
 - Land Use Application Fee (\$250.00) (e)
 - Agreement for Payment of Fees (f)
 - Evidence of Good Title/Legal Description (g)
 - Preliminary Landscape Sketch Plan (l) (See AS-101, plants still to be selected)
 - Conceptual Grading & Drainage Plan (p) (Davis Engineering Services-Will be submitted at Major Design Review)
 - Master Sketch Utility Plan (q) (Davis Engineering Services-Will be submitted at Major Design Review)
 - Sketch Plan/Conceptual Site Plans
 - Conceptual Building Elevations
-

(m)

General Development Information

(i) Detailed specifics about the developer's proposed development, including estimated time

- Owner is requesting approval of our Major Design Review Sketch Application for the construction of the three townhome buildings. Each building will be 2 stories with 2 units occupying each building and approximately 1724 square feet of living space per unit. The project will be constructed in phases. Phase I will consist of the construction of the north building along McCabe Creek and construction is anticipated to begin Summer 2021. Phase II will consist of the construction of the other two buildings. At the conclusion of the project a total of 6 units will be constructed on the property.
 - Residences will park in attached front loading single car garages and private concrete driveways. The developer is also providing 3 additional parking stalls for guests along the of northwest corner of the property. A paved access road from the western boundary of the property to South 6th Street will be provided. Landscaped open space will be distributed between the buildings.
 - The current zoning is mixed use town center and the current use is vacant. This is a permitted use per Table 4.1.4 of the LUDC. No change in zoning is required. The proposed use will be residential.
 - Exterior Materials:
 - Black Standing Seam Metal Roof
 - Composite Fascia (Color-Natural Wood)
 - Vertical Wood Siding (Color-Natural Wood and Dark)
 - Horizontal Metal Siding
-



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- Stone
- (ii) An estimate of the development's need for water, sewer, fire protection and the route of utility connections, and
 - All major utilities are provided to property line with little impact.
- (iii) Compliance with ALL specific design criteria required in the Land Use Development Code.
 - Project is in compliance with All specific design criteria required in the LUDC with no exceptions.
- (iv) Any other applications/permits required for certain development conditions that should be discussed in detail.
 - No additional applications or permits are pending.

Criteria

- (i) The development plan is consistent with the intent of the Comprehensive Plan and all other adopted Town plans.
 - Owner is requesting approval of our Major Design Review Sketch Application for the construction of the three townhome buildings. Each building will be 2 stories with 2 units occupying each building and approximately 1724 square feet of living space per unit. The project will be constructed in phases. Phase I will consist of the construction of the north building along McCabe Creek and construction is anticipated to begin Summer 2021. Phase II will consist of the construction of the other two buildings. At the conclusion of the project a total of 6 units will be constructed on the property.
- (ii) The development plan complies with all applicable development and design standards set forth in this Land Use Code, including but not limited to the provisions in Article 3, *Zoning Districts*, Article 4, *Use Regulations*, Article 5, *Dimensional Requirements*, and Article 6, *Development and Design Standards*;
- (iii) The development plan will not substantially alter the basic character of the surrounding area or jeopardize the development or redevelopment potential of the area; and
 - The project's style and exterior materials are consistent with the style and materials for the new development that was approved by the Town located at 151 S. 5th Street.
- (iv) The development plan is consistent with any previously approved subdivision plat, planned development, or any other precedent plan or land use approval as applicable.

(p)

Conceptual Grading & Drainage Report-Sketch Plan Narrative by Davis Engineering Services

GRADING AND DRAINAGE

The existing topography of the site generally slopes down from the north to the south towards the San Juan River. The existing River Walk Trail that runs along the northerly side of the river directs the drainage from the lot easterly and westerly to McCabe Creek and to 6th Street respectively. The drainage from 6th Street and McCabe Creek both enter the river in the immediate vicinity. Preliminary inspection indicates that a portion of Lots 10 and 11 are within the 100-year flood plain, and a portion of Lot 10 is located within the floodway. The portion of Lot 10 within the floodway is southerly of the trail and there are no improvements planned on this portion of the lot as part of this project. Finished floor elevations will have to be a minimum of one foot above the 100 year flood elevation with drainage from the improved site anticipated being directed to the north and west prior to leaving the site.



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OFF-SITE DRAINAGE

It appears in the current configuration that some drainage from the lots to the north could potentially drain onto Lots 10 and 11. The majority of the offsite drainage is directed to 6th Street and McCabe Creek on the west and east sides of the subject property. It is anticipated that the development of the subject property will direct any offsite drainage from the lots to the north along the boundary between Lots 11 and 12, again to 6th Street and McCabe Creek.

ON-SITE DRAINAGE

Peak flows for the 100-year event for both pre-development and post-development conditions have not been evaluated, and may not need to be, as the subject parcel is not a new subdivision of land, but a reconfiguration or consolidation of properties that were originally incorporated in the plat of the Townsite of Pagosa Springs. Recent similar developments have not required peak flow analysis, and it appears that according to Land Use Development Code Section 6.3.2.A.5.a that a waiver from peak discharge control is warranted.

As previously mentioned, it is anticipated that the drainage from the developed site will be directed to the northwesterly corner of the property and then directed on the surface toward 6th Street and/or McCabe Creek. If underground drainage is required, it would potentially be collected in the northwesterly corner of the property and then directed to McCabe Creek or the San Juan River.

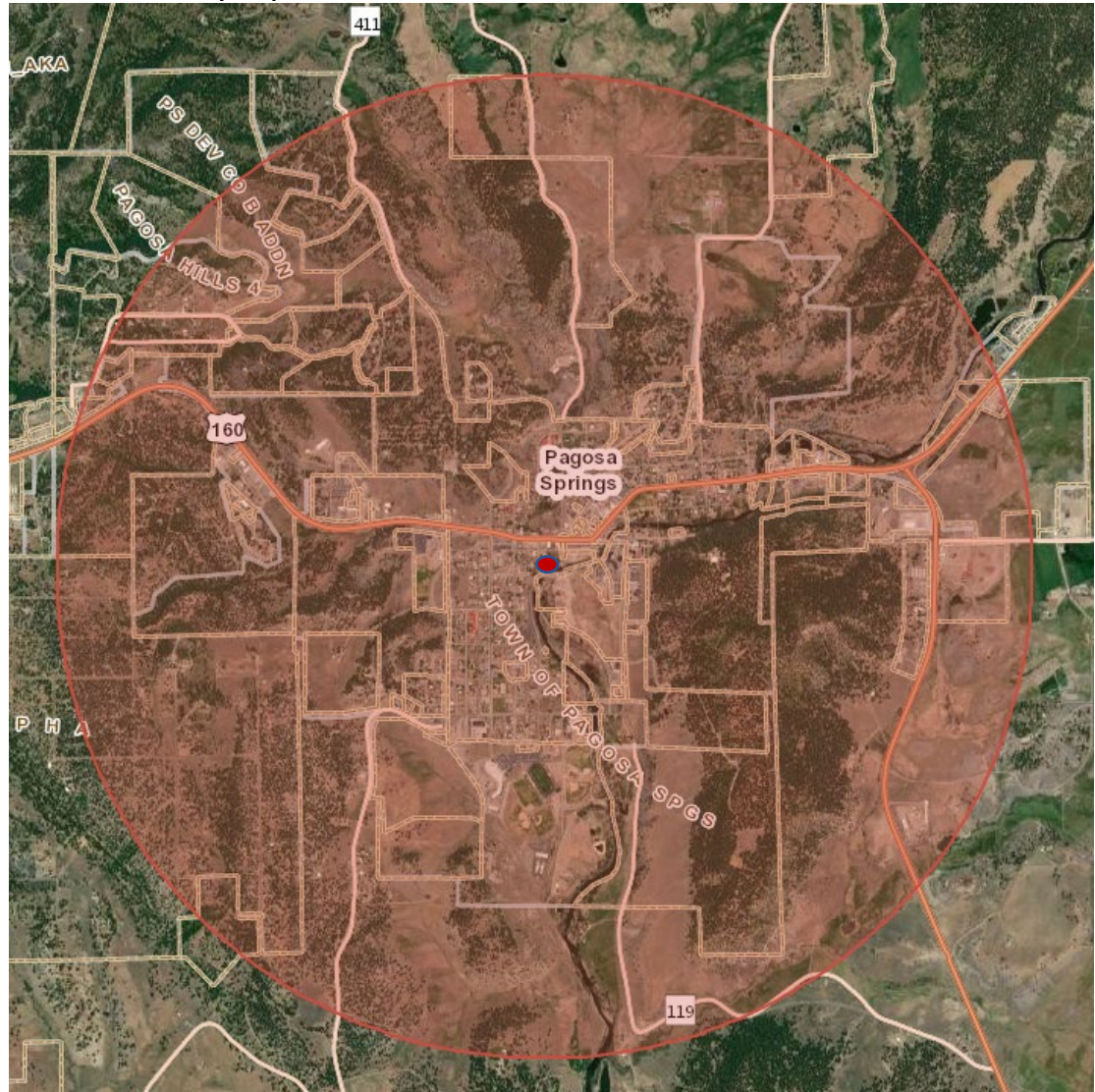


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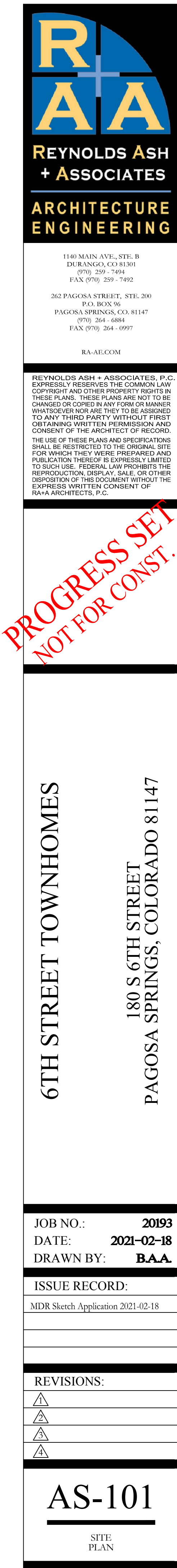
Context and Vicinity Map



Parcel # 569913317006

(Additional Development Information)

On behalf of the applicant RA+A had a pre-application meeting with Town Planning Department on December 3, 2020 @ 9:00 a.m.



PROGRESS SET
NOT FOR CONST.

6TH STREET TOWNHOMES

180 S 6TH STREET
PAGOSA SPRINGS, COLORADO 81147

JOB NO.: 20193
DATE: 2021-02-18
DRAWN BY: B.A.A.

ISSUE RECORD:

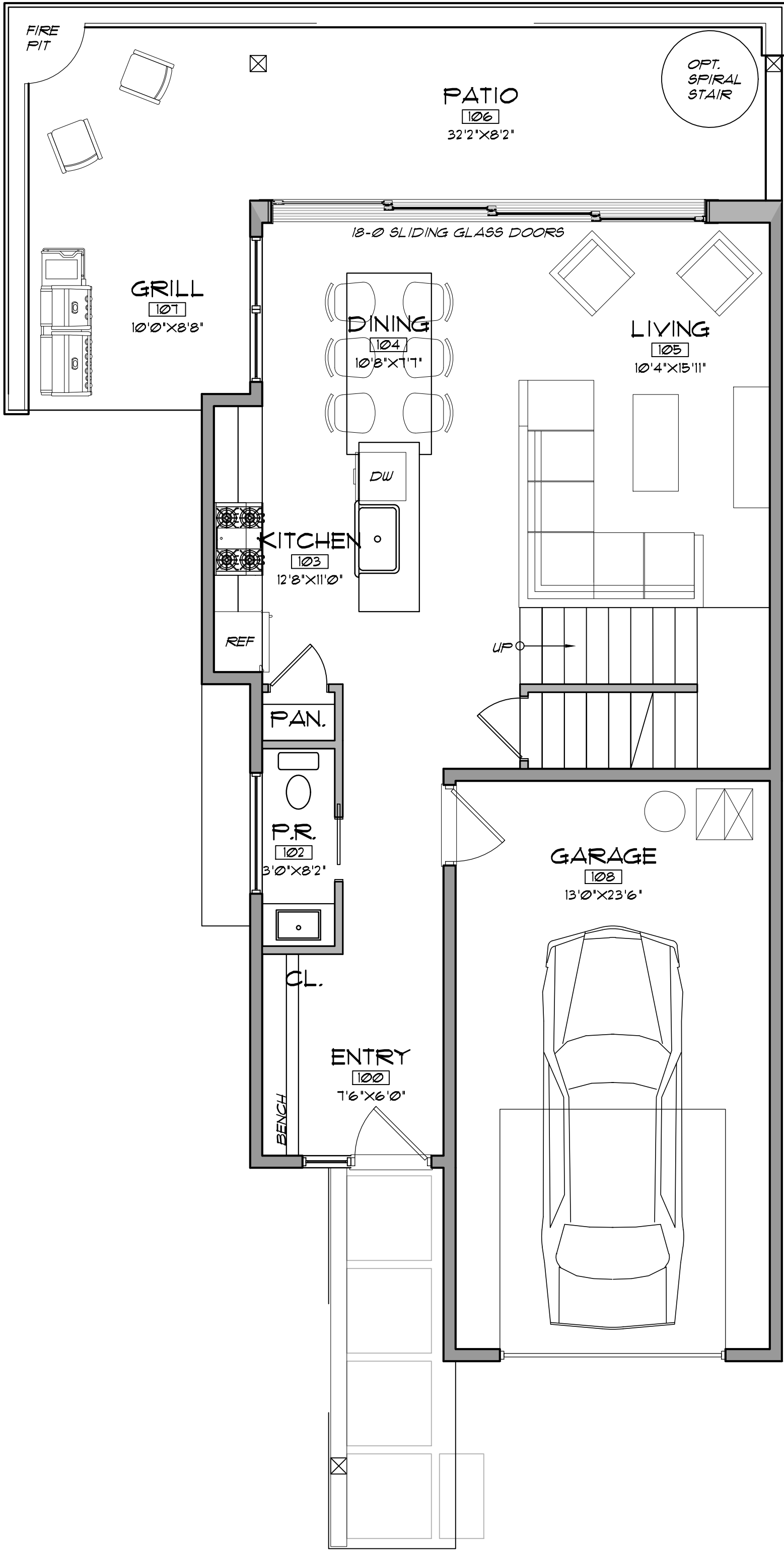
MDR Sketch Application 2021-02-18

REVISIONS:

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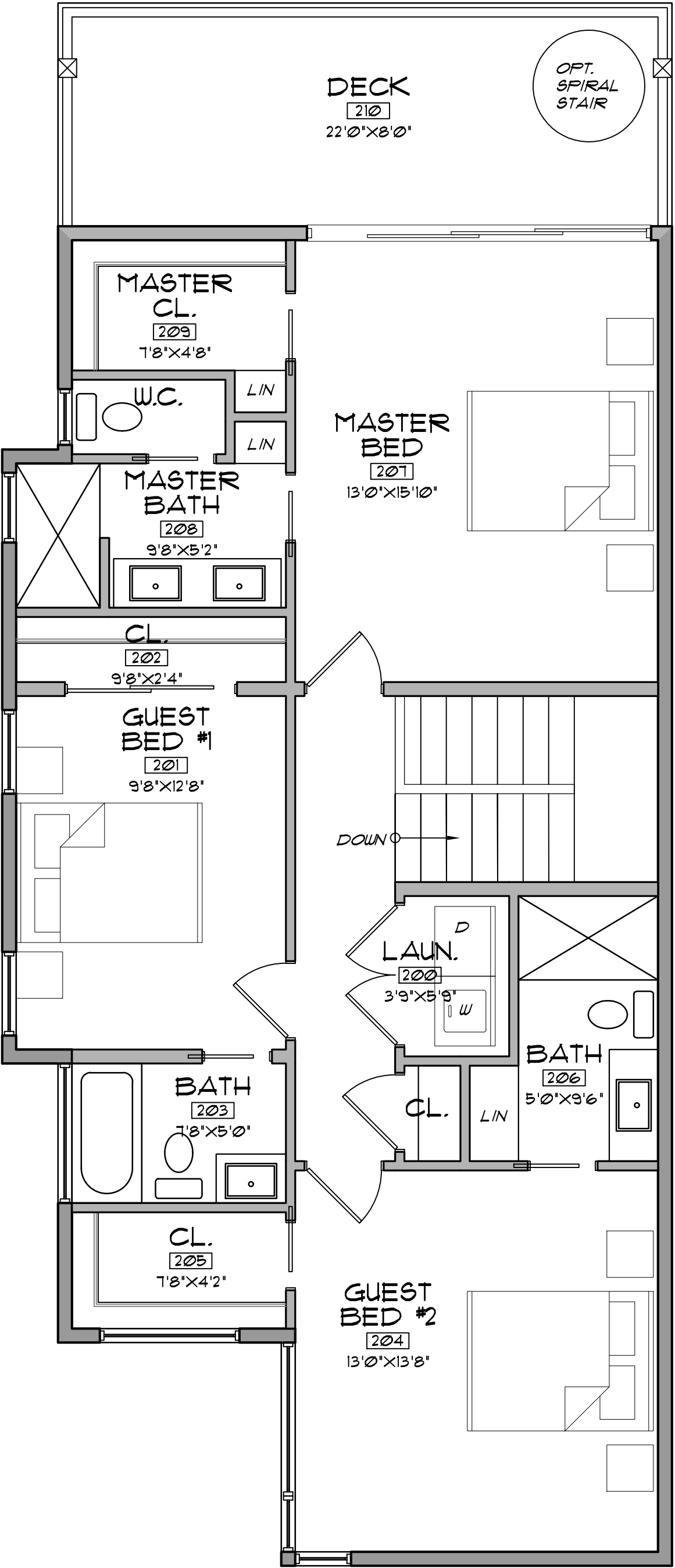
AS-101

SITE
PLAN



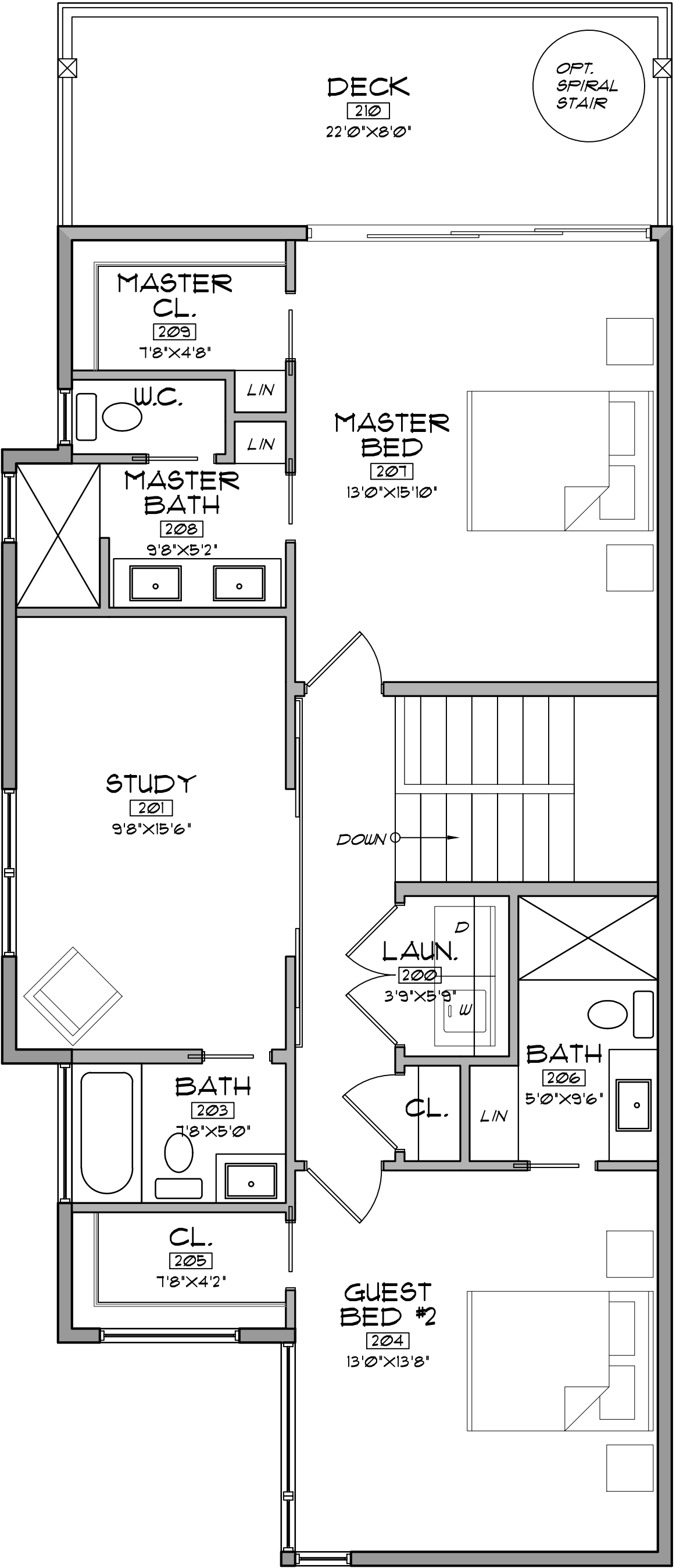
MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"



UPPER LEVEL FLOOR PLAN (3 BED)

SCALE: 1/4" = 1'-0"



UPPER LEVEL FLOOR PLAN (2 BED)

SCALE: 1/4" = 1'-0"

APPROXIMATE SQUARE FOOTAGE:

MAIN LEVEL	688 S.F.
UPPER LEVEL	1,036 S.F.
TOTAL	1,724 S.F.
GARAGE	517 S.F.
OPT. 1 DECK & PATIO	444 S.F.
OPT. 2 DECK & PATIO	



REYNOLDS ASH
+ ASSOCIATES

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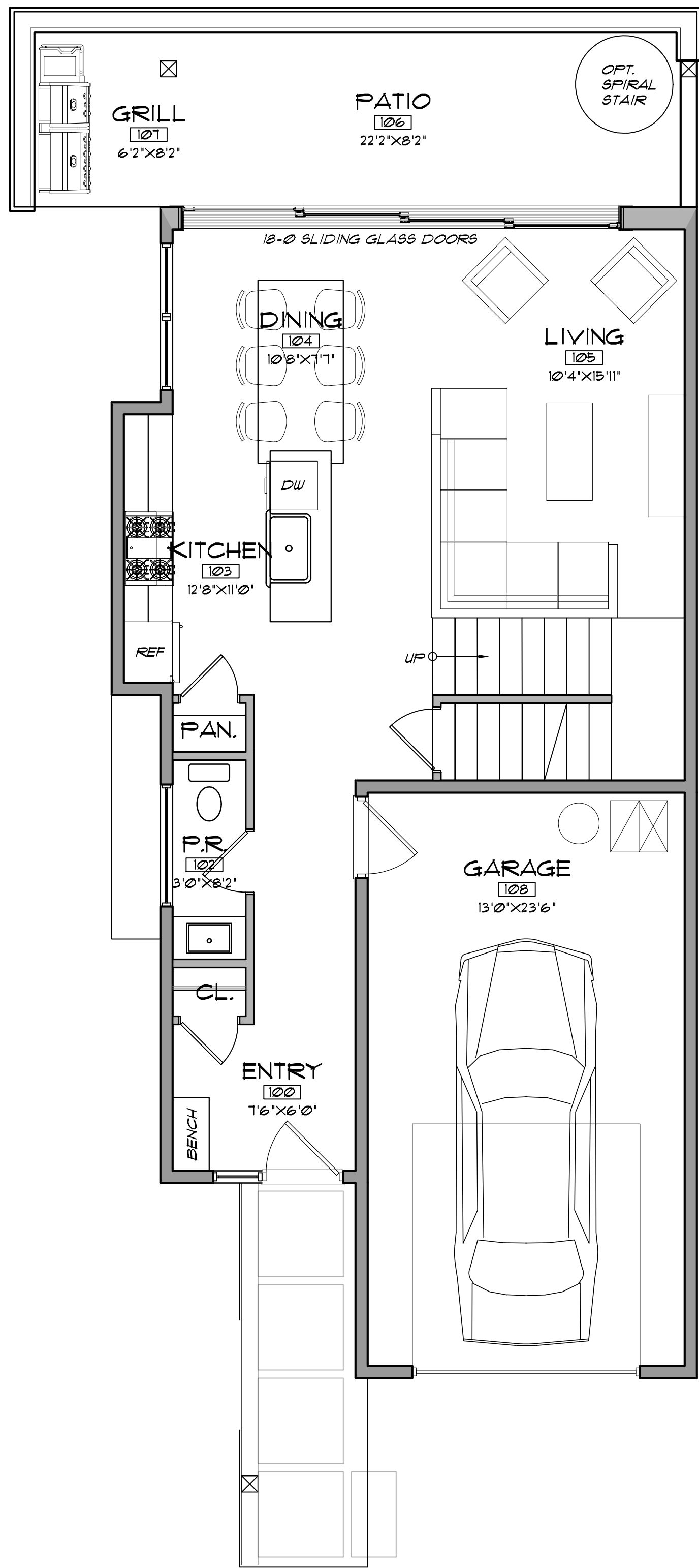
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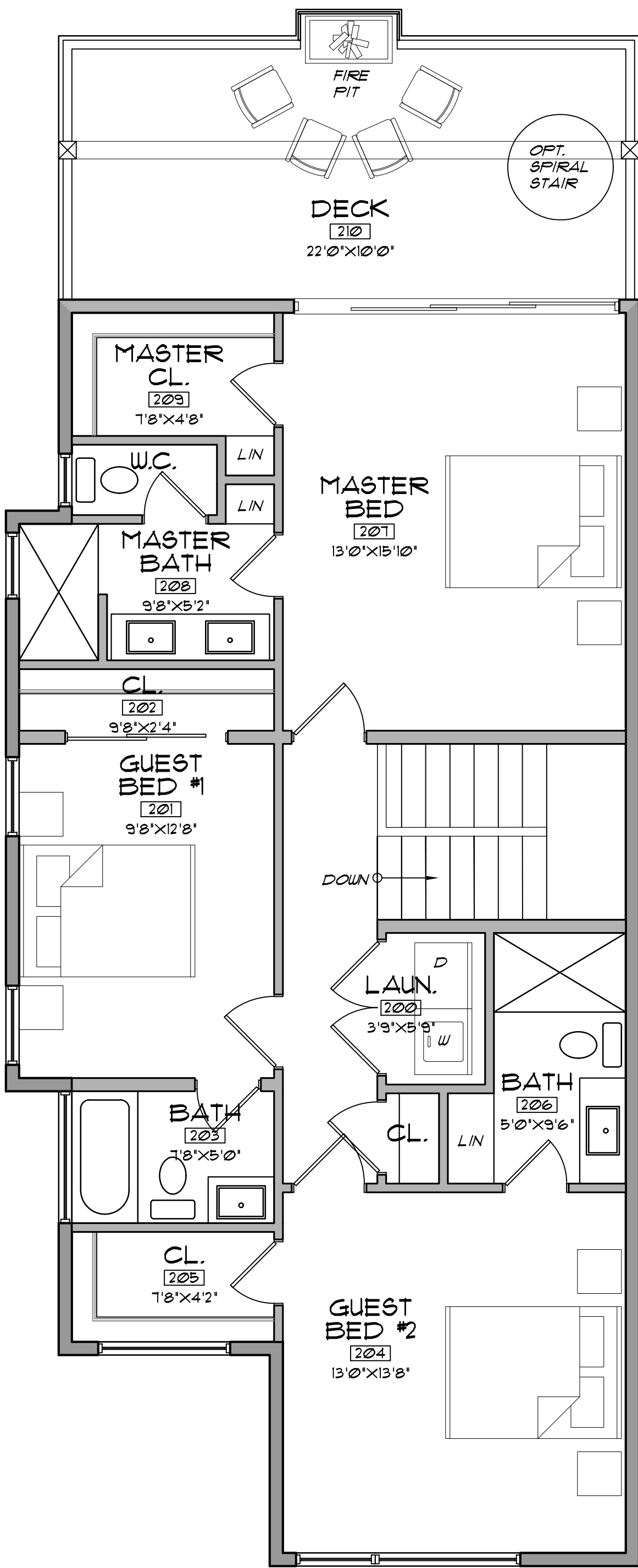
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A-101
MAIN LEVEL
FLOOR PLAN



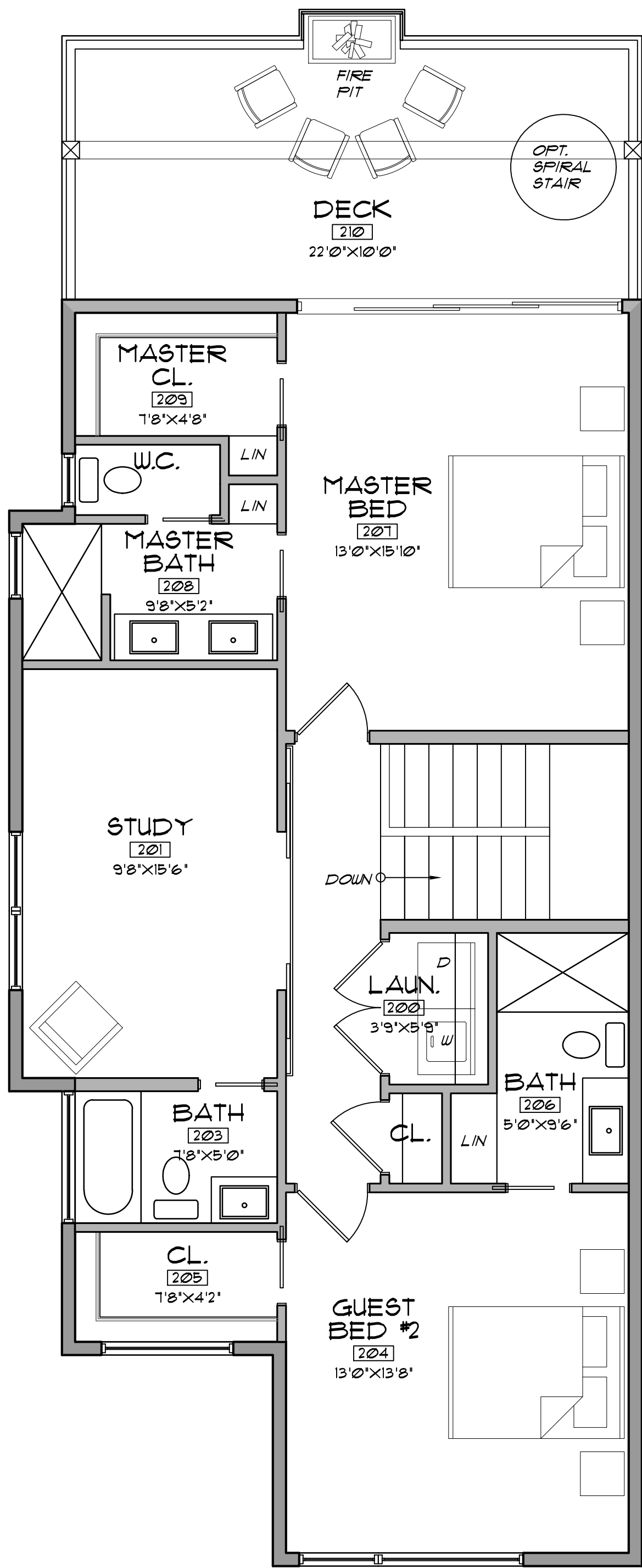
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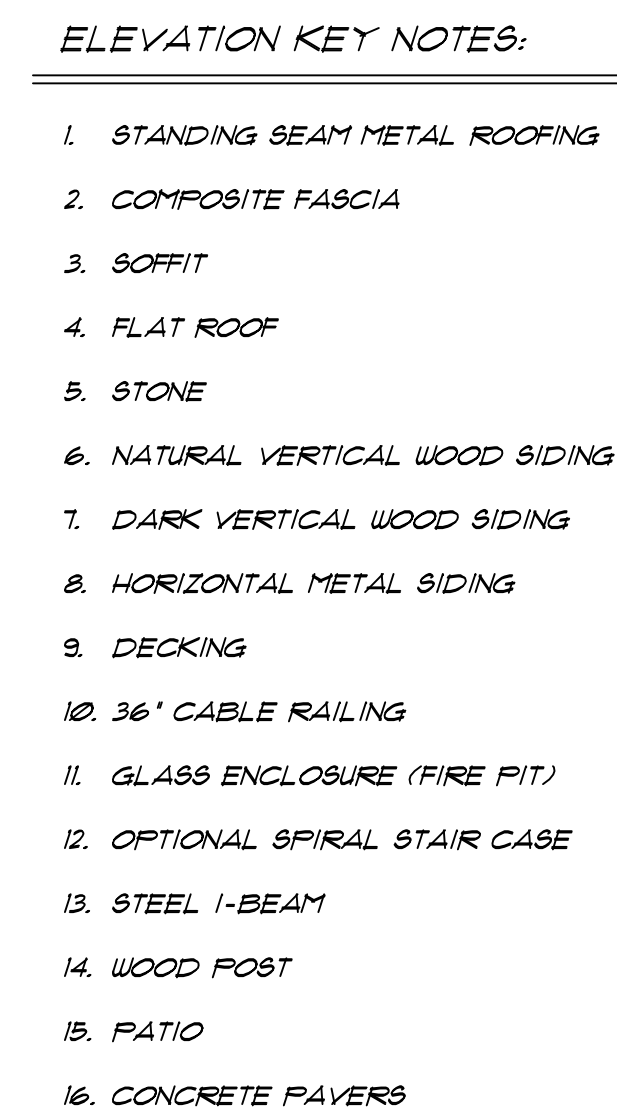
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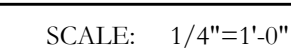
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MAIN LEVEL
FLOOR PLAN



SCALE: 1/4"=1'-0"



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180 S 6TH STREET
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ISSUE RECORD:

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A-201

EXTERIOR
ELEVATIONS



ELEVATION KEY NOTES:

1. STANDING SEAM METAL ROOFING
2. COMPOSITE FASCIA
3. SOFFIT
4. FLAT ROOF
5. STONE
6. NATURAL VERTICAL WOOD SIDING
7. DARK VERTICAL WOOD SIDING
8. HORIZONTAL METAL SIDING
9. DECKING
10. 36" CABLE RAILING
11. GLASS ENCLOSURE (FIRE PIT)
12. OPTIONAL SPIRAL STAIR CASE
13. STEEL I-BEAM
14. WOOD POST
15. PATIO
16. CONCRETE PAVERS

REAR ELEVATION C

SCALE: 1/4"=1'-0"

A-202



SIDE ELEVATION D

SCALE: 1/4"=1'-0"

A-202

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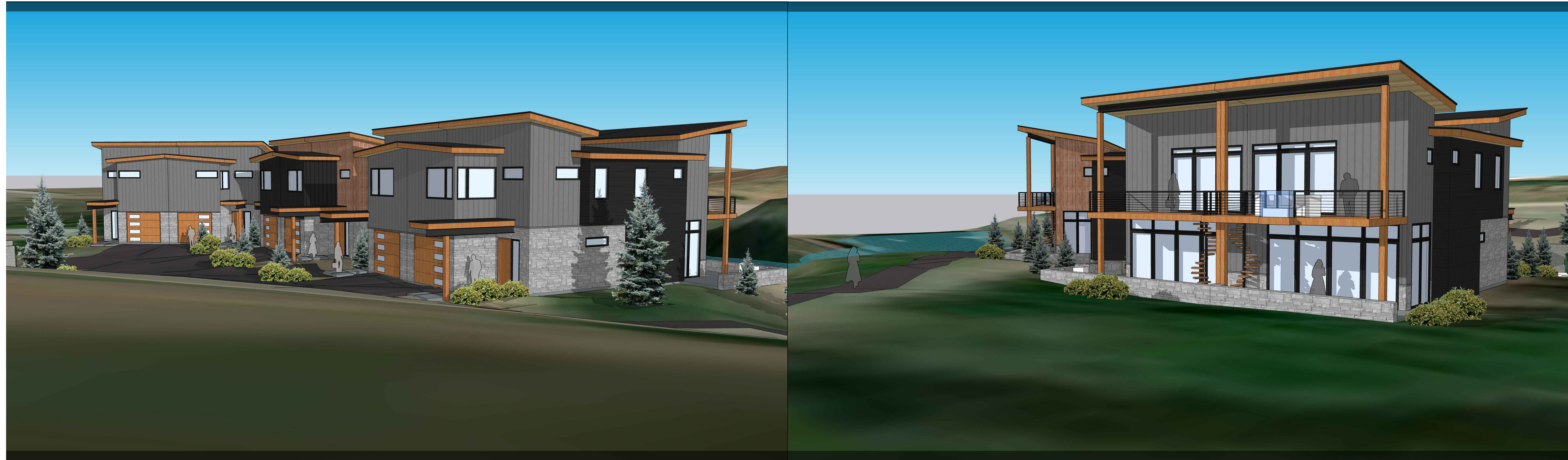
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A-202

EXTERIOR
ELEVATIONS



EXTERIOR VIEWS

SCALE: N.T.S.

E
A-203



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EXTERIOR VIEWS



EXTERIOR VIEWS

SCALE: N.T.S.

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EXTERIOR VIEWS